



FAIRELAWN MANOR

30 Pelham Rd, Philadelphia, PA 19119

EXISTING CONDITIONS (BEFORE RENOVATION)



Typical Conditions
Exterior & Grounds



Typical Conditions
1st Floor



Typical Conditions
2nd Floor



Typical Conditions
3rd Floor



Typical Conditions
Basement



OPEN AREA CALCULATIONS:

Parcel A
 Lot Area: 2,552.47 SF
 20% Allowed Occupied Area: 2,552.47 SF
 Prop. Occupied Area: 2,053.2 SF
 Open Area: 72.7%

Parcel B
 Lot Area: 7,095.79 SF
 20% Allowed Occupied Area: 2,838.04 SF
 Prop. Occupied Area: 2,053.2 SF
 Open Area: 72.4%

Parcel C
 Lot Area: 28,671.51 SF
 20% Allowed Occupied Area: 11,368.60 SF
 Prop. Occupied Area: 5,211.53 SF
 Open Area: 81.6%

RSD-3 RESIDENTIAL ZONING TABLE

LOT COVER ELEMENTS (Net Lot Area)	Design	Proposed	Proposed	Proposed
		Lot Area	Lot Area	Lot Area
		(2,000) SF	(2,000) SF	(2,000) SF
Min. Lot Area	5,000 SF	7,892.10 SF	7,892.14 SF	22,782.3 SF
Min. % Open Area	70%	75.1%	75.7%	50.1%
BUILDING DIMENSIONS				
Front Yard Setback (min.)	20'	20'	20'	25.0'
Side Yard Setback (min.)	10' or 30% of lot, total of 20'	10.25' Ag.	10.25' Ag.	40.827' Z 4.43'
Rear Yard Setback (min.)	20'	20'	20'	25.0'
Building Height (max.)	35'	35'	35'	40'

WISSAHICKON WATERSHED OVERLAY (WVO) [§14-510]

THE COMMISSION SHALL ESTABLISH BY REGULATION AN IMPERVIOUS COVERAGE MAP DESIGNATION FOR THE PROPOSED SITE.

WISSAHICKON IMPERVIOUS COVERAGE 0 - NO LIMIT ON IMPERVIOUS GROUND COVERAGE

OPEN SPACE AND NATURAL RESOURCES [§14-704(2)]

- 6' BUFFER SLOPE - 15.25%
- 5' BUFFER SLOPE - 25%

EXISTING TREE SCHEDULE: TREE CALIPER 24" OR LARGER

QUANTITY	CODE	BOTANICAL NAME	COMMON NAME
1	FW	SPICED SEVPERFERN	DAWNY FLYING WOOD
2	DW	JUGLANS N GRA	BLACK WALNUT
1	DC	PRUNUS SEROTINA	BLACK CHERRY WALNUT

Street Trees

At least one tree per 35 ft. of linear frontage, and one tree at least 15 ft. spacing between trees.

BOTANICAL NAME	COMMON NAME	NOTES	QUANTITIES
Malvaceae: Parrotia	Goatsfoot tree	2.5 - 3" DBH RMA	4

All landscaping shall be in accordance with PCPC Recommended Planting List.

LEGEND

- EXISTING FEATURES**
- TELECOMMUNICATION INFRASTRUCTURE
 - WATER MAIN
 - ELECTRICAL MAINLINE
 - SEWER MAINLINE
 - WATER VALVE
 - WELL HEAD
 - HYDRO-PNEUMATIC TANK
 - UTILITY POLE
 - R.O.V.
 - LIQ. T. STANDARD
 - CONCRETE DRIVEWAY
 - UNDEGROUND WATERLINE
 - UNDEGROUND GAS LINE
 - UNDEGROUND BLEED (H.C. LINE)
 - OVERHEAD AERIAL LINE
 - TRUNK LINE
 - EXISTING BUILDINGS
 - EXISTING FOUNDATION LINE
- PROPOSED FEATURES**
- BUILDING COVERED PORCH
 - PATIO
 - REAR PORCH
 - DRIVEWAY & ACCESS DRIVEWAY
 - 6" DBH PLANTING

NOTES

- Boundary and Location information is based on a field survey performed by Douglas Phase Land Design on March 15, 2019.
- Boundary dimensions are identified in Philadelphia District standard feet. Other stated dimensions are in U.S. standard feet.
- The charge form includes the more precise decimal expression (may result in minor changes) in the second and third decimal places. There are no mistakes or omissions but more precise values.
- The easements for this plan are based on City Plan No. 185. The site boundary is a 10' wide easement for the sidewalk and a 10' wide easement for the street and a 10' wide easement for the driveway. The easement for the driveway is shown in red.
- The easement shown here is referenced from PLAN OF PROPERTY made for Victor Paul by George H. Wertz, Acting Surveyor & Registrar of the 1st Survey District of Philadelphia dated August 20, 1924.
- FEMA FIRM map #20190866 is not printed meaning that the entire parcel area is in a single flood zone. It is designated as within the Zone X, across outside the 500 yr. floodplain.
- Some of the improvements such as building, curbing, and parking have been taken from some photographs, other plans and from aerial GIS sources.
- City above ground utility improvements have been located. The location of the underground utility lines must be field verified by contractor before construction of any excavation.
- The property is located within the Residential Single Family Detached (RSD-3) Zoning District and is within the Wissahickon Watershed Overlay (WVO) District Code Section 14-510 and Open Space and Natural Resources - Strip Slope Protection Area (code section 14-704).
- As far as is known to the designer, there are no requirements in the City of Philadelphia Code as amended.
- A zoning permit is required for any proposed changes to lot lines, including consolidation of existing lots.
- This survey does not address the existence or absence of freshwater wetlands.

SOURCE OF TITLE

Special warranty deed between The Bank of New York Mellon and The Bank of New York as Trustee to Kegan Properties, LLC, dated December 1, 2016, being recorded in the City of Philadelphia on December 16, 2016 as document # 25495262.

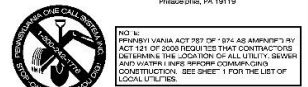
PLAN REFERENCES

- PLAN OF PROPERTY made for Victor Paul, by George H. Wertz, Acting Surveyor & Registrar of the 1st Survey District of Philadelphia on August 20, 1924.



UTILITY OWNERS

- DATE CONTACTED:** February 28, 2019
SERIAL NUMBER: 2019080302
- COMPANY:** COXCAST CABLEVISION
 ADDRESS: 4800 WOODBURY AVE
 PHILADELPHIA, PA 19140
CONTACT: BOB HOFFER
 EMAIL: bob_hoffer@coxcast.com
- COMPANY:** USDO
 ADDRESS: 450 S HENRISON RD, SUITE B
 KING OF PRUSSIA, PA 19406
CONTACT: DAN HUBERT
 EMAIL: dan@hubs.com
- COMPANY:** PHILADELPHIA CITY WATER DEPARTMENT
 ADDRESS: 1102 MARKET STREET, 2ND FLOOR, 6TH FLOOR, 7TH FLOOR
 PHILADELPHIA, PA 19107
CONTACT: ERIC PONDRETT
 EMAIL: eric.pondre@pcwd.com
- COMPANY:** PHILADELPHIA CITY DEPARTMENT OF STREET'S
 ADDRESS: 1401 JEFFERSON BLVD, ROOM 940 MSB
 PHILADELPHIA, PA 19102
CONTACT: JOSEPH KISSEL
 EMAIL: joseph.kissel@pcwd.com
- COMPANY:** PHILADELPHIA GAS WORKS
 ADDRESS: 800 W BROADWAY AVENUE
 PHILADELPHIA, PA 19102
CONTACT: JAY ZS BOCHANSKI
- COMPANY:** SEU PHILADELPHIA TRANSPORTATION AUTHORITY
 ADDRESS: 1228 MARKET ST, 17TH FLOOR
 PHILADELPHIA, PA 19107
CONTACT: DAVID GONZALEZ
 EMAIL: david.gonzalez@seu.org
- COMPANY:** VERIZON WIRELESS
 ADDRESS: 100 S GIBBS BLVD, STE 2100 ROOM 10A
 PHILADELPHIA, PA 19102
CONTACT: VICTOR PAUL
 EMAIL: victor.paul@verizon.com
- OWNER OF RECORD:**
 30 PELHAM ROAD
 KATE SHOENER RETAIL, LLC
 6825 GERRITSON AVENUE, 2ND FLOOR
 PHILADELPHIA, PA 19119



REVISIONS

30 PELHAM ROAD
 Philadelphia, PA 19119
 22ND WARD - OPA #223095250

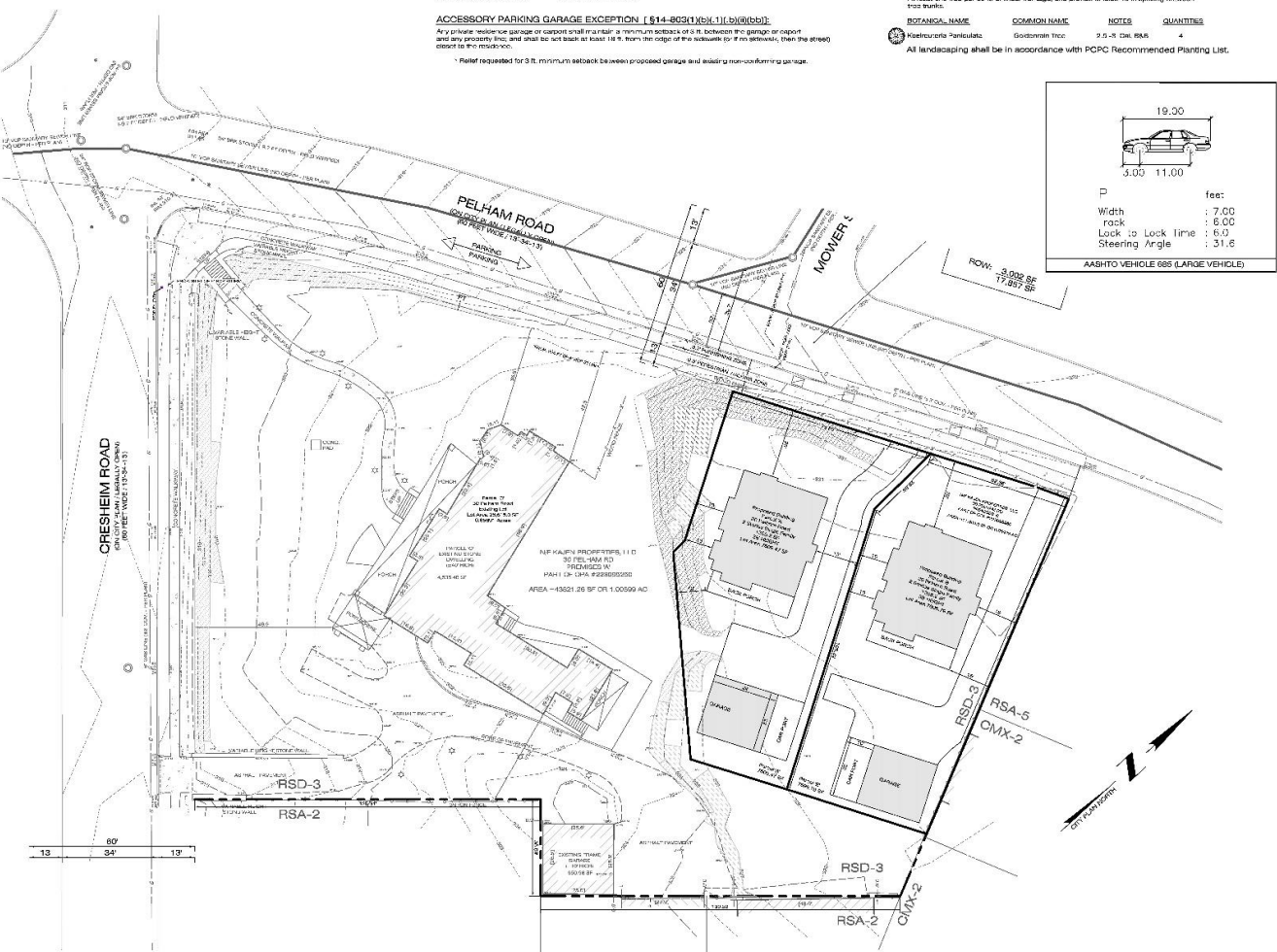
prepared for:
 Philly Office Retail, LLC c/o Kate Shoener
 6825 Gerritson Avenue, 2nd Floor
 Philadelphia, PA 19119
 ph: (215) 247-6555

DAVID J. PLANTE, Professional Engineer PA, No. PE-043820-E

Ruggiero Plante Land Design
 5900 Ridge Avenue Philadelphia, PA 19128
 (215) 247-3050 Fax: 215-247-3990 www.ruggieroplantedesign.com

Plan Date: August 14, 2020 Scale: 1" = 20'-0"
 20' 10' 0' 20'

ZONING SKETCH
 Sheet Title:
 SITE PLAN
 Sheet 1 of 2





1 FRONT ELEVATION
LAWSON & ASSOCIATES, INC.



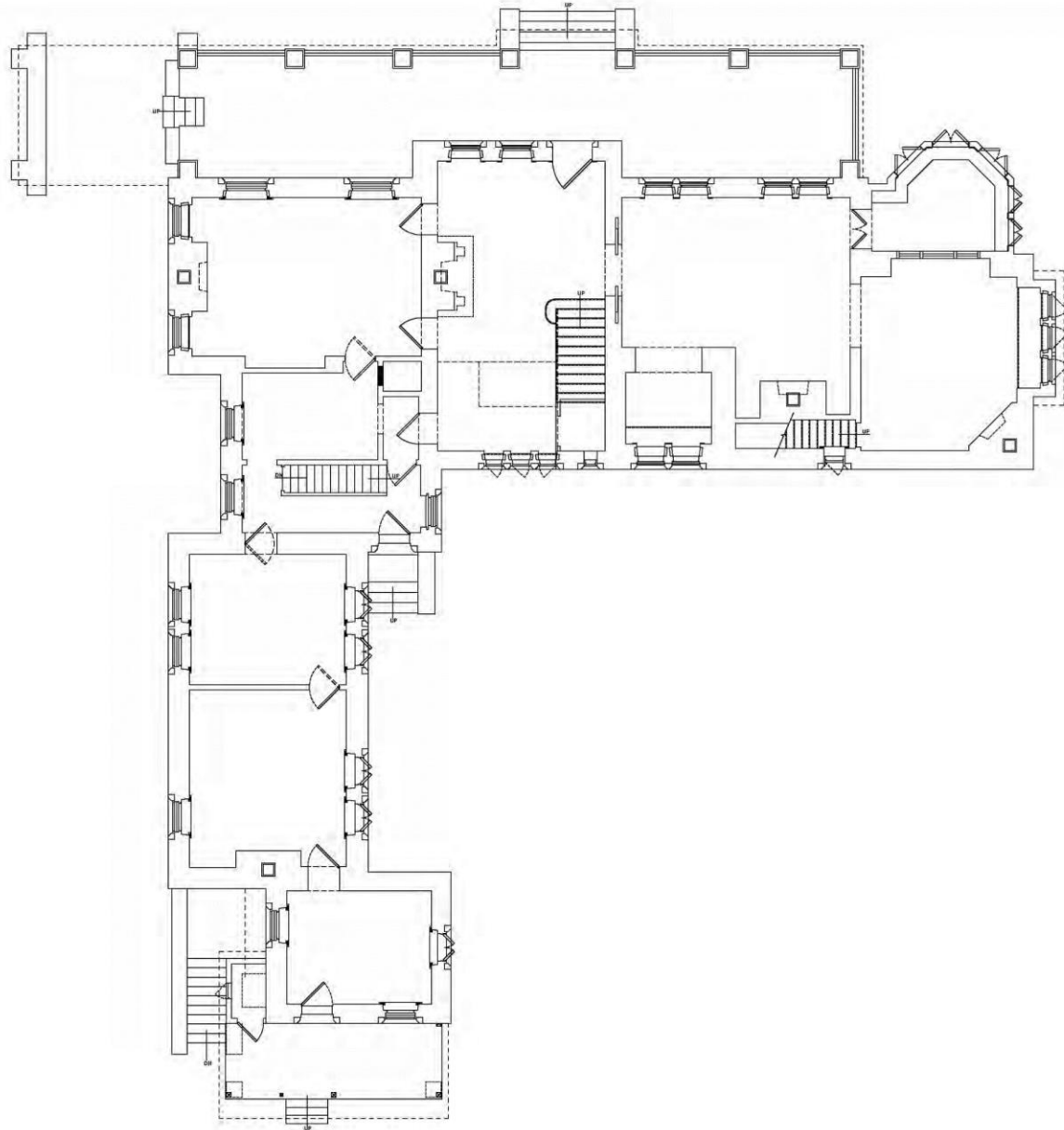
1 RIGHT SIDE ELEVATION
AS SHOWN



1 REAR ELEVATION
SCALE: 1/8" = 1'-0"

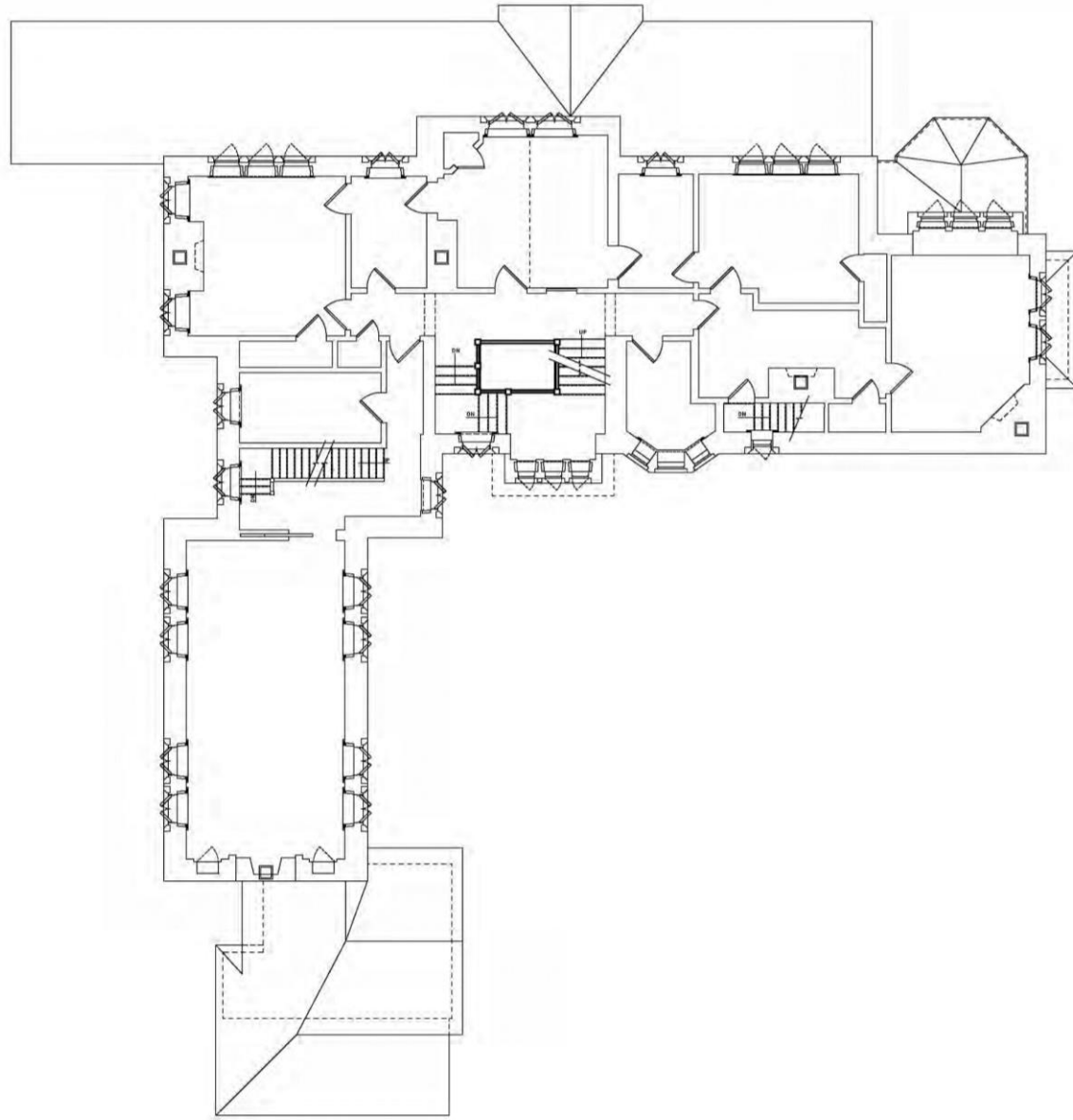


1 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"

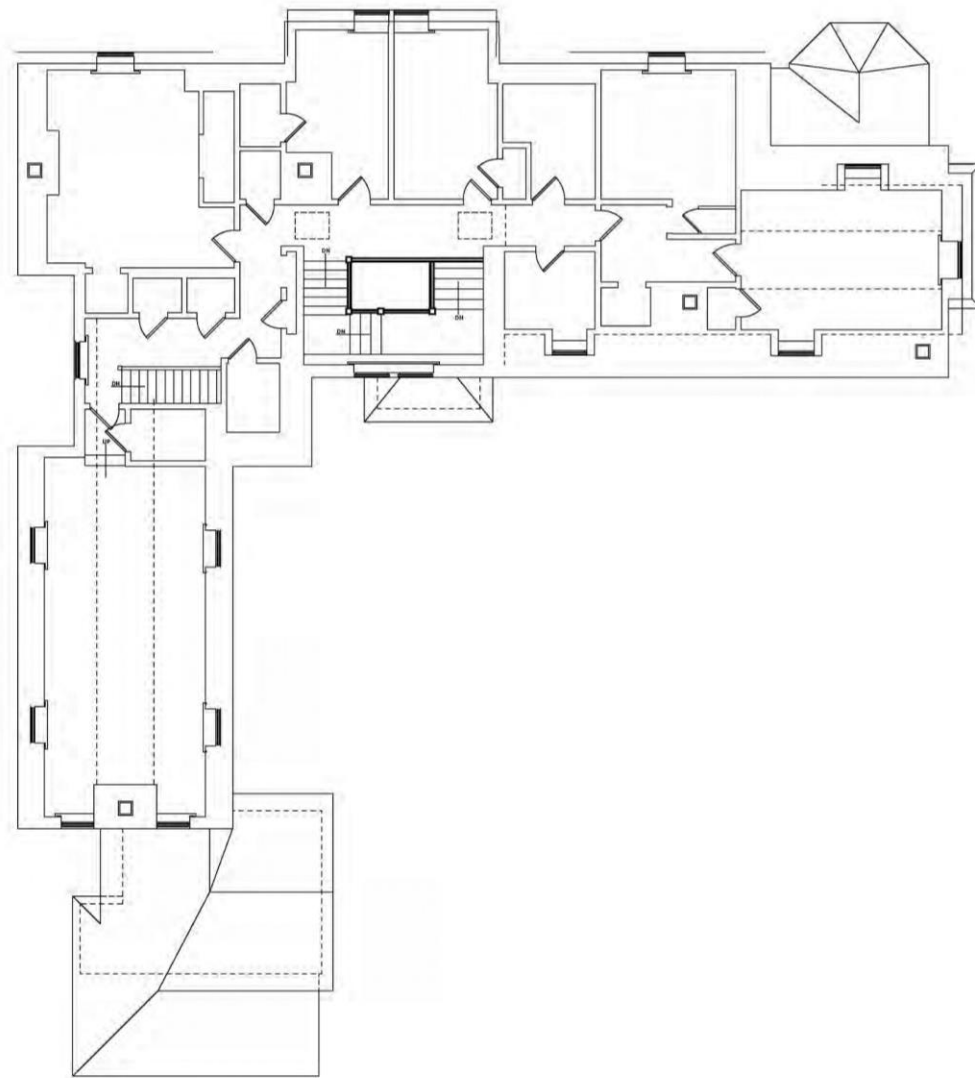




1 EXISTING SECOND FLOOR PLAN

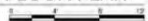
SCALE: 3/16" = 1'-0"

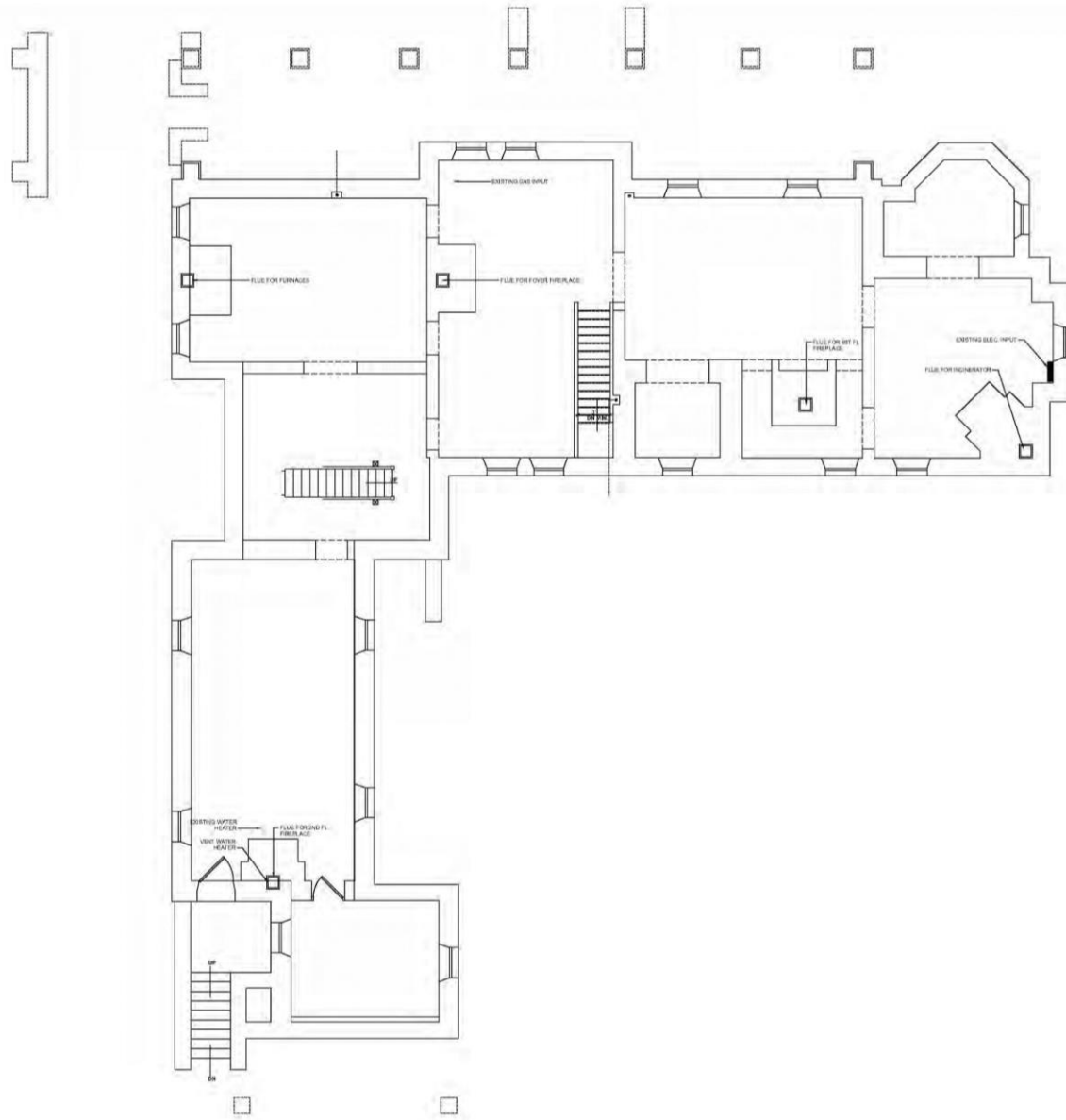




1 EXISTING THIRD FLOOR PLAN

SCALE: 3/16" = 1'-0"





1 EXISTING BASEMENT PLAN
SCALE: 3/16" = 1'-0"



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